

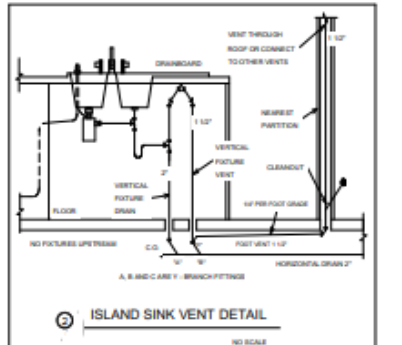
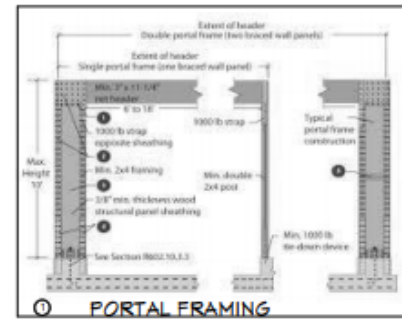
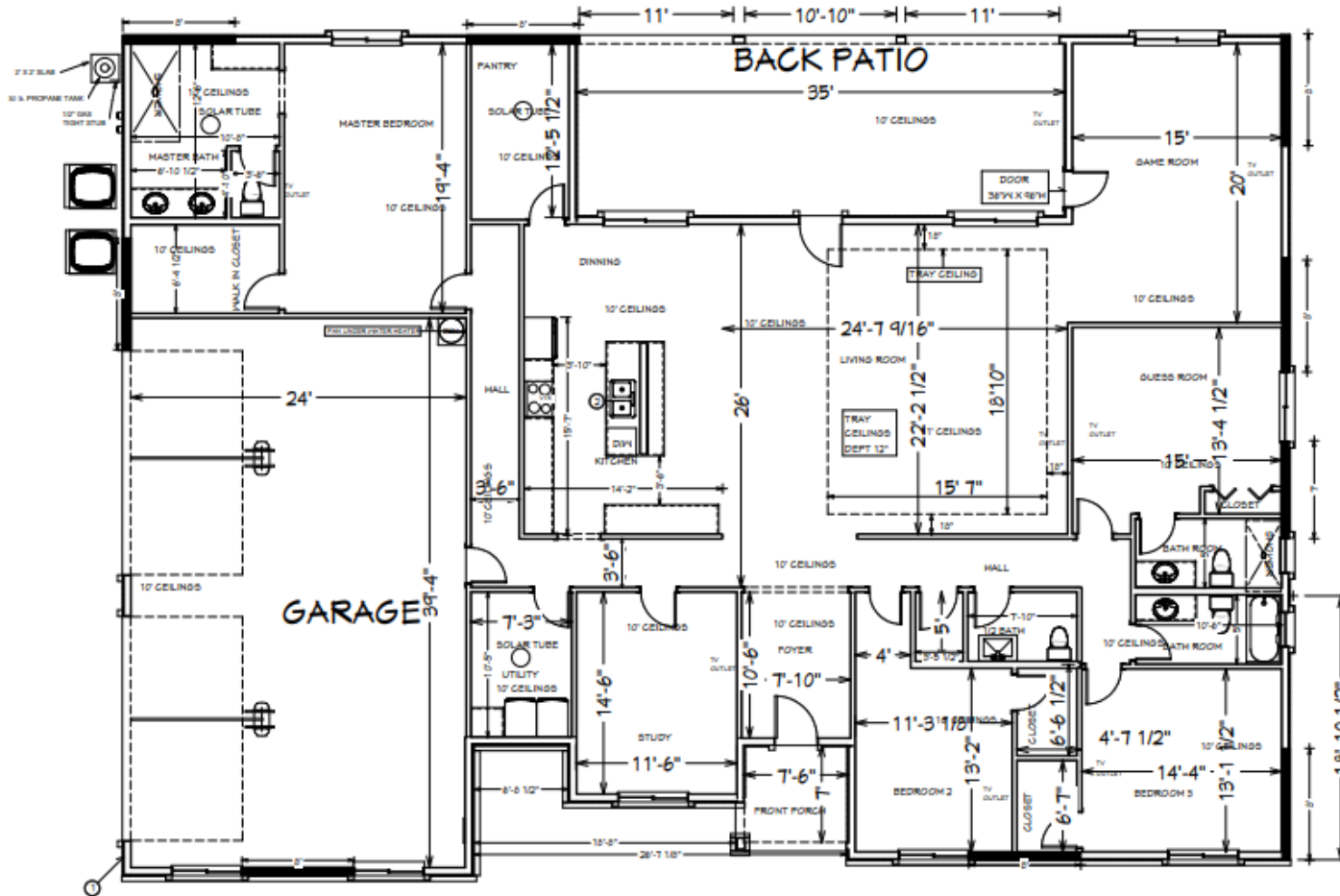
LIVABLE = 3183 SQFT.
 GARAGE = 945.6 SQFT.
 BACK PATIO = 485 SQFT.
 FRONT PATIO = 56 SQFT.

TRAY CEILING

NOTE:
 WINDOWS AND ALL EXTERIOR DOOR
 MEASUREMENTS LOCATED ON PAGES 6-7
 ELEVATION

- INSULATION NOTES:
- Exterior Walls - 2x6, 16" OC with minimum 3.5" open cell spray foam (R-13). 1" EPS foam on exterior of walls (stucco foam) for additional R-4. R-17 total wall system
 - Attic - 5.5" to 6" of open cell spray foam (R-20) applied directly to underside of roof deck
 - Attic Knee Walls + Gable Ends - minimum 3.5" open cell spray foam (R-13)
 - Windows - U-Factor 0.40 / SHGC 0.25.
 - Ducts - R-6 insulation

- HOME TO HAVE:
- 2X6X10H EXTERIOR WALLS
 - 2X4X10H INTERIOR WALLS
 - ALL DOOR AND WINDOW HEADERS AT 8H
 - STUCCO EXTERIOR
 - TILE ROOF 6/12 PITCH
 - ALL PLUMBING WALLS TO BE 2X6
 - ALL CEILINGS TO BE 10H
 - (WITH EXCEPTION OF LIVING ROOM TRAY CEILING)
 - LIVING ROOM TRAY CEILING TO BE 11H



**CONT. SHEATHING
 BRACED WALL**

NOTE: CONTINUOUS
 SHEATHING METHODS
 REQUIRE ALL FRAMED
 PORTIONS OF THE BRACED
 WALL LINE TO BE SHEATHED

NOTE:
 WHERE APPLICABLE, CONTINUOUS SHEATHING METHODS REQUIRED STRUCTURAL PANEL SHEATHING TO BE USED AS ALL SHEATHABLE
 SURFACES ON ONE SIDE OF BRACED WALL LINE INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS MEETING THE
 REQUIREMENTS OF SECTION R 602.10.1 (2012 IRC R 602.10.4.2, R 602.10.1, FIGURE 602.10.1)

PROJECT TITLE: [REDACTED]
 FLOOR PLAN

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 480-881-2331

DATE:
 10/3/2019

SCALE:
 1/4" = 1'

SHEET:
 1

FOUNDATION NOTES:

SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ., 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS ARE REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

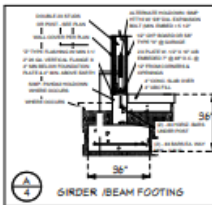
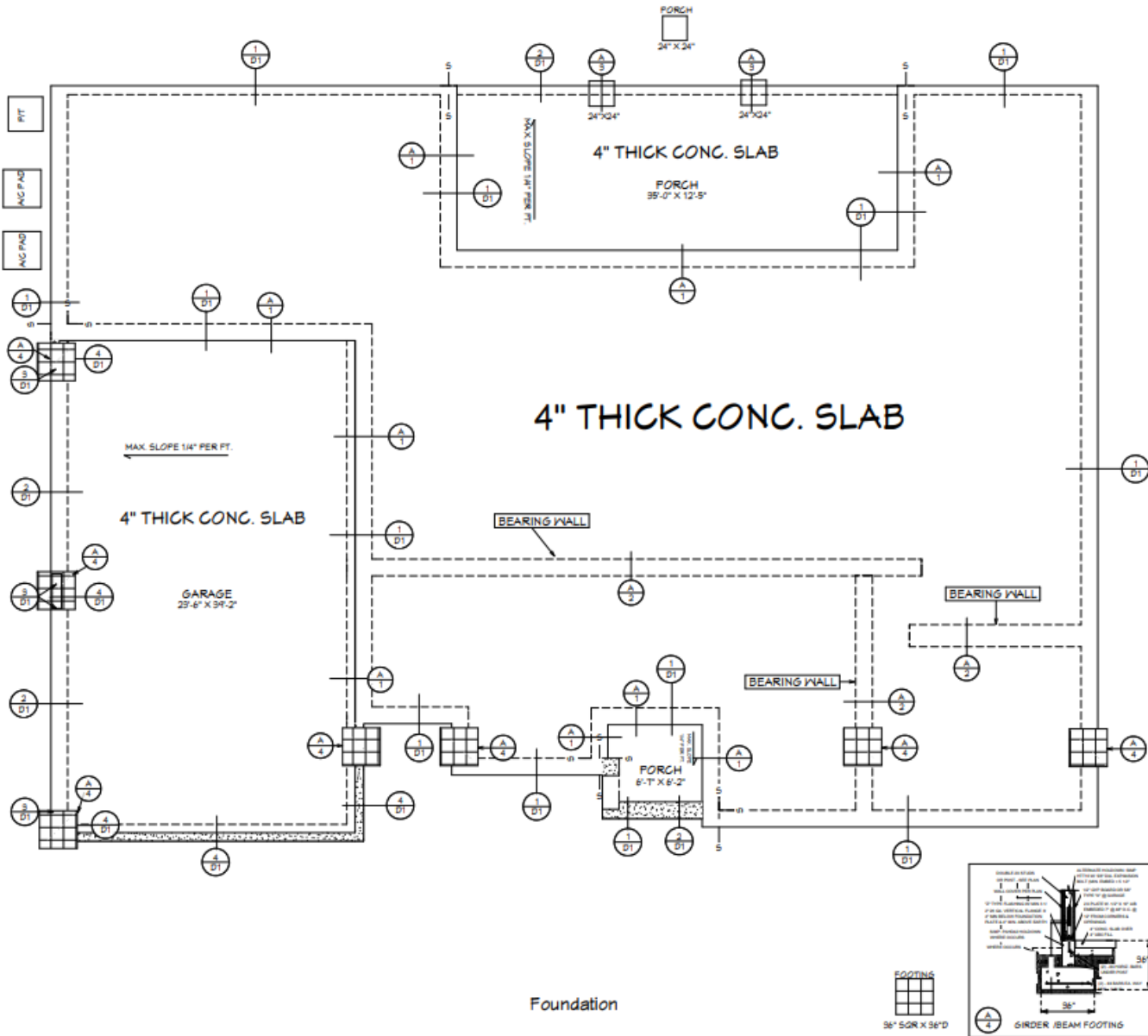
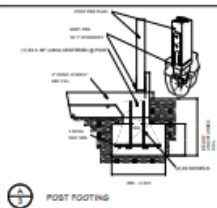
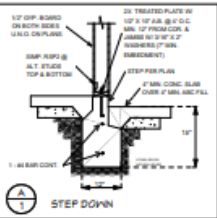
CONCRETE STRENGTH:
 3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI)
 3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.
 MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION. ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS



REVISION	DATE	BY	DESCRIPTION

FOUNDATION

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DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPEABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPEABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 30" MIN. DOOR SHALL BE OPEABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.80

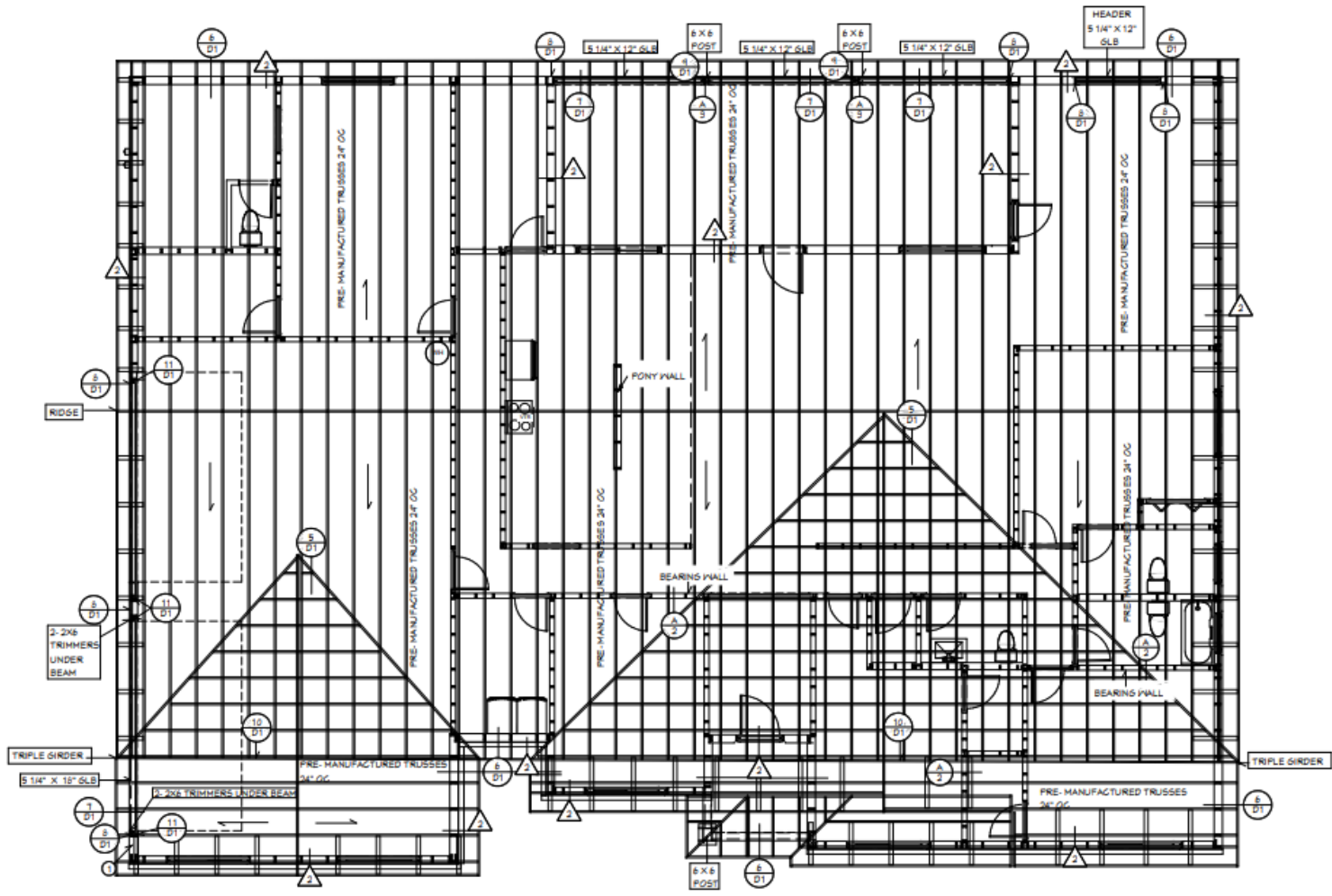
GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

TRUSS NOTES:

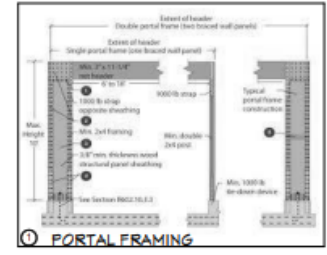
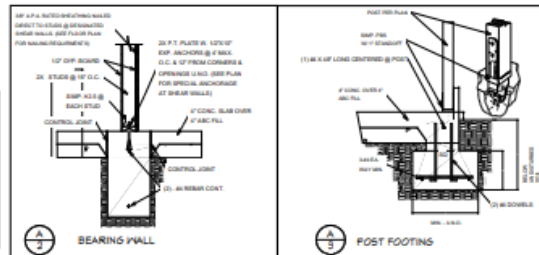
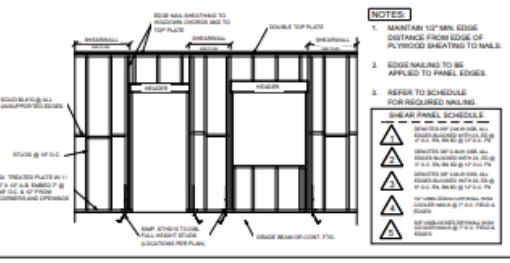
- ATTIC VENTILATION
R500-100
- PROVIDE 7 MIN. AIR GAP AT ROOF WITH INSULATION SUPPLY TOP AT ALL TRUSS BAYS
- PROVIDE DOUBLE VERT. ALL GABLE ENDS
- PROVIDE ONLY ROOF VENTS OR BOXES OF ROOFING AREA CONDITIONED AREA
- ALL CONNECTIONS OF RAFTERS, JACK OR HP TRUSSES TO MAIN GIRDERS TO BE PROVIDED BY TRUSS MANUFACTURE.
- ALL ROOF FRAMING 2" O.C.
- ALL ROOF PITCH 8/12
1. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP
 2. ALL TRUSSES SHALL BE ANTIKICK & BRACED TO MANUFACTURERS SPECIFICATIONS
 3. ALL TRUSSES WILL NOT BE FIELD ALIGNED WITHOUT PRIOR BUILDING DEPT. APPROVAL OR ENGINEERING CALCULATIONS
 4. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION
 5. NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD BY SIMPSON ETC TO ASSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAM ON THE WALL
 6. ALL CONNECTIONS OF RAFTERS, JACK OR HP TRUSSES TO MAIN GIRDERS TO BE PROVIDED BY TRUSS MANUFACTURE.
 7. ALL ROOF FRAMING 2" O.C.
 8. ALL ROOF PITCH 8/12

GARAGE NOTE:

- 3" STEEL BOLLARD
- 1 HR. 587 FIRE RATED DW TYPE "X" ON GARAGE WALLS & CLG
- 4" STEP
- 1 3/4" SOLID-CORE (26-MIN. RATED) TIGHT-FITTING, SELF-CLOSING & LATCHING DOOR



SHEAR NOTES:



REVISIONS
DATE
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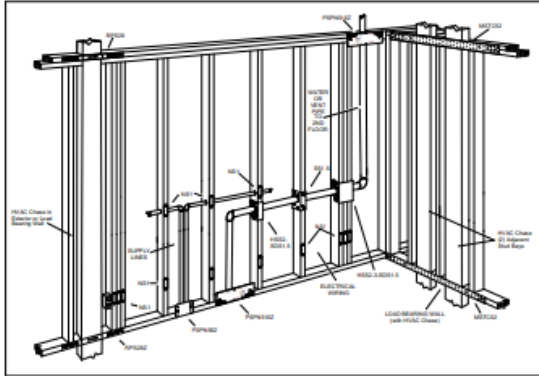
FRAMING

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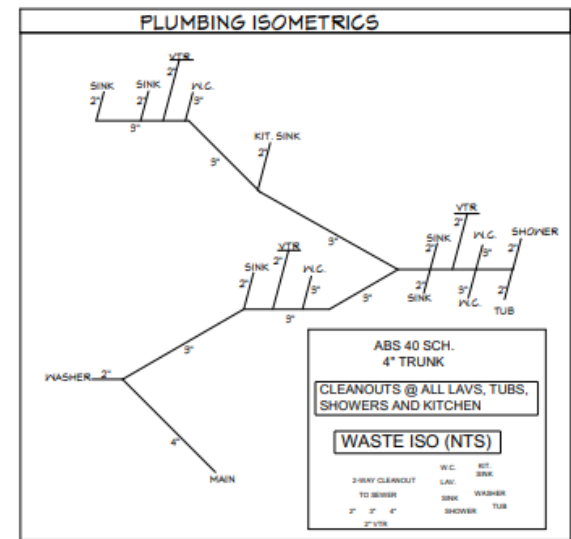
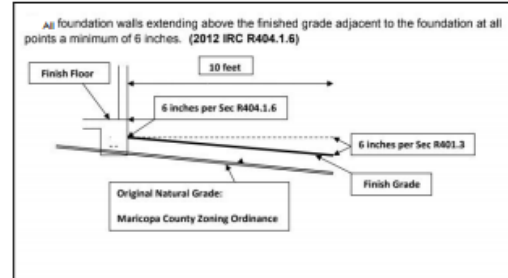
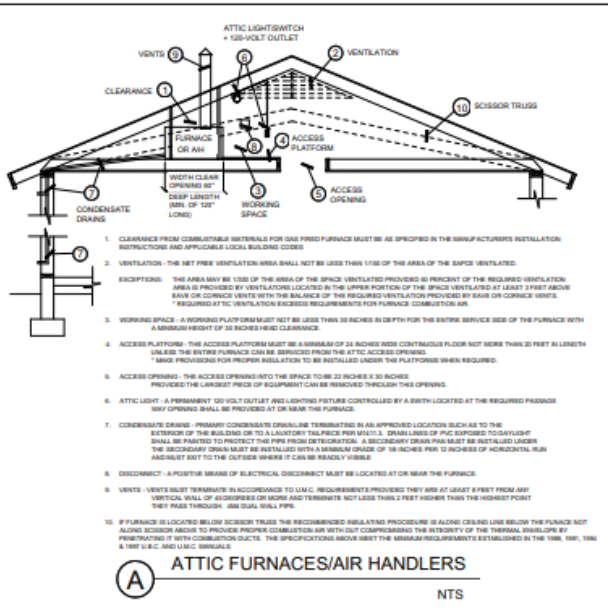
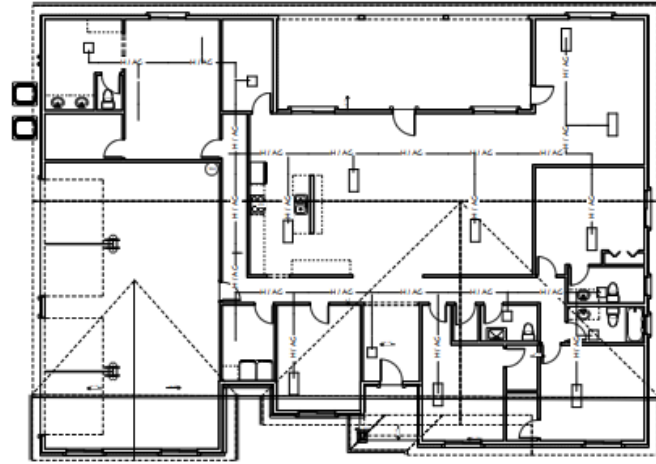
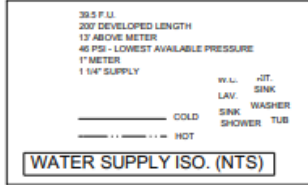
DATE:
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SCALE:
1/4" = 1'
SHEET:
3

GENERAL PLUMBING & HVAC NOTES:

- HVAC SHALL HAVE THREE ZONES, ONE FOR EACH FLOOR.
- THE FURNACE AND WATER HEATER ON FLOOR 3 SHALL SERVE FLOOR 3.
- THE FURNACE AND WATER HEATER ON FLOOR 1 SHALL SERVE FLOORS 1 & 2.
- METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
- ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
- TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
- WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
- HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
- INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.
- INSULATE WASTE LINES FOR SOUND CONTROL.
- INSTALL CENTRAL VACUUM SYSTEM & PIPING; CONFIRM BRAND WITH HOMEOWNER.



MARK	FIXTURES	CONNECTIONS				REMARKS
		CW	SW	SS	V	
WC	WATER CLOSET	1/2"	1/2"	3"	4"	FLUSH TANK MAX
LAV. SINK	LAVATORY SINK	1/2"	1/2"	2"	2"	FAUCET MAX 2.75 GMP
KIT SINK	KITCHEN SINK	1/2"	1/2"	2"	2"	FAUCET MAX 2.75 GMP
S	SHOWER	1/2"	1/2"	2"	3"	MAX 2.75 GPM
WA	WASHER	1/2"	1/2"	2"	2"	

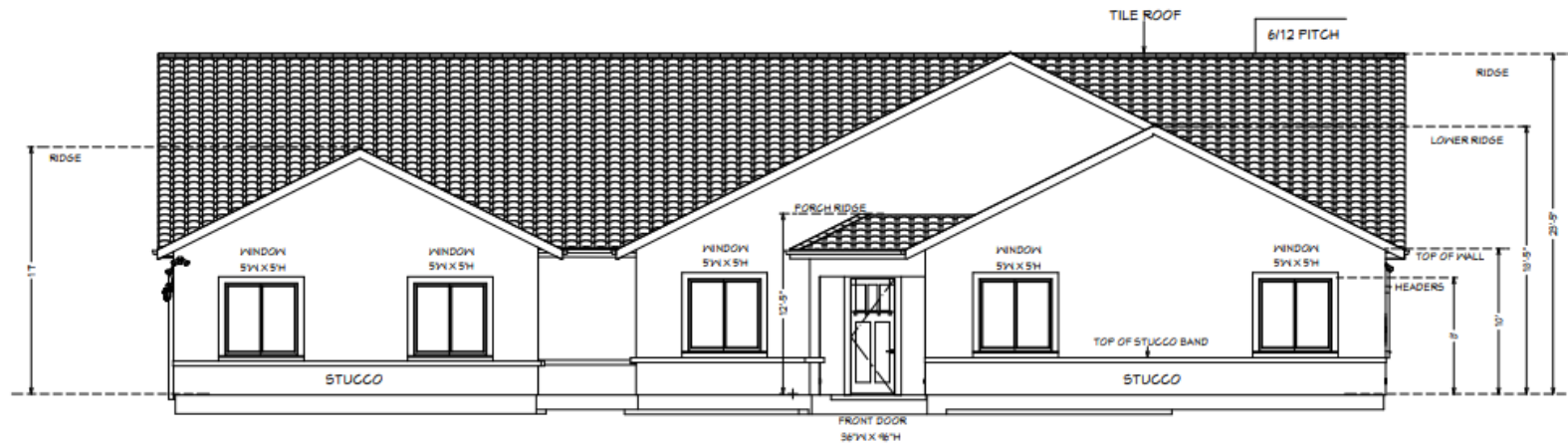


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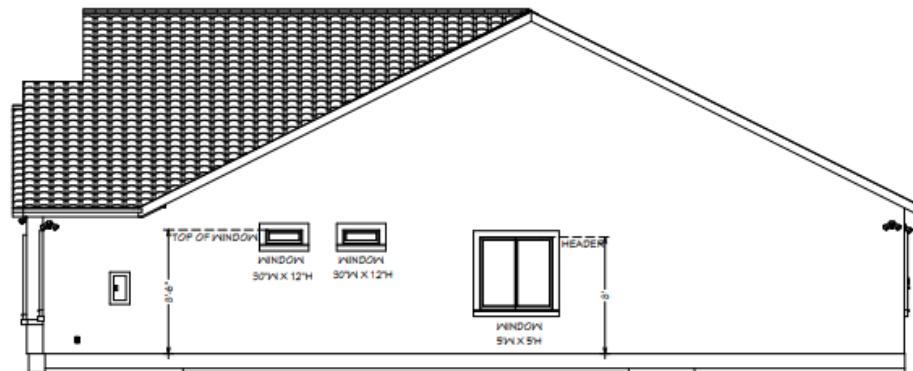
PLUMBING / MECHANICAL

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10/3/2019
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FRONT ELEVATION



RIGHT ELEVATION

REVISION TABLE
DATE: 10/3/2019

ELEVATION

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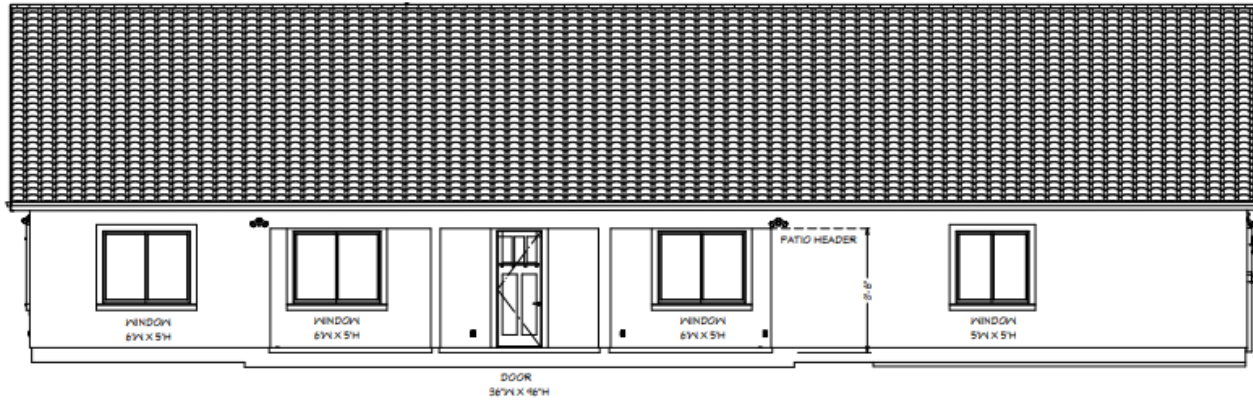
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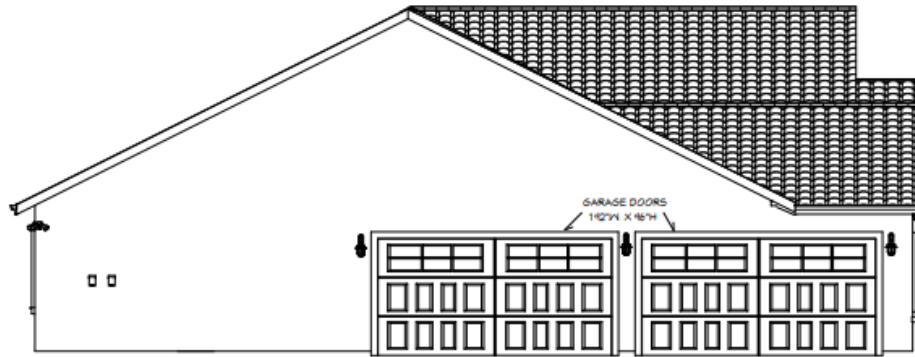
1/4" = 1'

SHEET:

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BACK ELEVATION



LEFT ELEVATION

REVISION TABLE
 REVISION DATE REVISIONS BY DESCRIPTION

REVISION DATE	REVISIONS BY	DESCRIPTION

ELEVATION

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SCALE:

1/4" = 1'

SHEET:

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